

The Villages at Wicklow

Design Guidelines

General Building Design Standards
Updated on 7/1/14

Overview and Intent

Design Guidelines are a means to preserve the individuality, quality, integrity and enduring value expected by every homeowner within a community.

The Villages at Wicklow Design Guidelines provide a design “theme” for every home. They are written to inspire innovative and creative home designs, but are not intended to be used as a restrictive set of rules. These Design Guidelines will remain flexible over time, creating the opportunity to respond to market trends, buyer tastes, property owners’ association needs, and economic market cycles.

The Guidelines are a framework that provides the homeowner with a method of directing their builders and designers, while maintaining consistent quality design throughout the neighborhood. In addition, the Villages at Wicklow landscape standards become the theme that visually unites the community and its evolving character.

Community Planning of The Villages at Wicklow

The goal of the Villages design team is to establish a community that is sensitively integrated into the natural beauty of the development. The team hopes to achieve this goal by developing a land plan that embraces a balance of land uses. The community of The Villages at Wicklow is the weaving together of the neighborhoods into the fabric of natural landscape. The open personality of the community is continually reinforced as property owners are surrounded by the natural environment.

Basic Guidelines

The Villages at Wicklow Design Review Board (VWDRB) requires drawings that can be easily understood. All designs must reflect traditional architecture. The VWDRB will consider all designs on an individual basis. Plans which are not designed by licensed architects will require special approval from the VWDRB. The VWDRB will have full approval authority over all construction plans and their ruling will be final. By way of illustration, but without limitation, the following improvements require submission to the VWDRB for approval:

- New construction or exterior additions/modifications of any kind.
- Installation or modification of landscaping.
- Changes or other improvements subsequent to original approvals.

Approval of any project by the VWDRB does not waive the requirement for permits from the City of Nixa, Christian County, State of Missouri, or any other governmental agency having jurisdiction in The Villages at Wicklow.

Size of Residence

It is expected that single story residences will have a minimum area of heated space. Basement, attic space, screened porches, decks, verandas, patios and garages are not included in minimum square footage requirements, even if the areas are heated.

Setbacks

Residences shall adhere to minimum setback requirements established by governmental regulations and as shown on the final plat.

NOTE: Building envelopes will vary depending on actual lot size. Refer to Final Plat Map and your individual home site plot for lot setbacks that exceed those indicated above.

Garages and Parking Spaces

Each residence shall contain parking space within the site for at least two automobiles in a private, fully enclosed garage with functional doors. The interior walls of any garage must be like other rooms of the building. No carports will be allowed. No more than two garage doors may exist on the same plane. The minimum offset on third or fourth garage doors is three feet. Integrated garages should be visually removed to reduce the impact to the street scene. The garage door design should be representative of the home design.

Driveways

All driveways shall be constructed of either concrete or other equivalent material as approved by the VWDRB. Property owners shall be responsible for extending their driveway to the edge of the street pavement. All curb cuts and subsequent repairs, due to driveway connection to the street, are the responsibility of the property owner. The driveway must be extended to the street's edge once the street is paved.

Walks

Sidewalk minimum width is four feet, constructed of concrete or other equivalent material approved by the VWDRB. Vertical, exposed concrete steps are not allowed. Sidewalks must meet City code (see attachments).

Exterior Walls

Exterior walls must be substantially brick, stone, stucco, (synthetic stucco i.e. Dryvit not allowed). Wood may also be used in a well-chosen combination of either brick, stone, stucco, or as an accent material. A combination of no more than three different materials may be used. The front elevation shall be at least 75% brick, stone, or stucco, and the

remaining 25% shall be cedar siding or masonry board and batten. The 75/25 shall continue on the remaining three sides of the home if the lot has a public view. An example of a public view would be a lake lot or corner lot. If the lot does not have a public view (per Design & Review Board), then it will be left for the builder to decide the exterior of the remaining three sides of the home. We understand that certain architectural styles may not correspond with this rule and will review those situations on an individual basis. The VWDRB reserves the right to deny approval of any exterior plans.

No vinyl siding of any kind will be permitted.

Color combinations must be submitted for approval by the VWDRB.

The main entry should contain more detail than the other openings but remain consistent in styling.

Masonry or stone facing used in combination as a veneer material on the front of the residence should return around a corner to a logical point of termination such as an inside corner.

Gutters and downspouts shall be used at all eave lines unless deemed inappropriate and should be either colored aluminum or copper material. Galvanized material is not permitted.

Exterior window and door details are encouraged.

Casement windows with grilles to be used on all front elevations.

Retaining walls shall be constructed of a natural type material, or products that conform to the home. Block or diamond block is not permitted. Retaining walls that attach to the residence should utilize the same materials as the wall that they join.

Drainage

A proper drainage plan for individual home sites is an important part of the overall plan for the community. Water runoff from each individual building site must be handled by adequately sloping all areas so that runoff is directed to the natural drainage areas or storm drainage facilities of each lot owner. A drainage plan must be incorporated when the site plan is submitted for approval. Directional arrows may be used on the site plan to illustrate drainage plan.

Temporary and permanent erosion control measures are intended to prevent the erosion of soil at The Villages of Wicklow. The placement of barriers such as erosion fabric

fences, straw bales, or curb-like diversions along the perimeter of construction areas is considered a temporary measure to prevent excessive run-off.

Run-off from construction areas must be directed away from any sensitive natural areas. Permanent measures include the use of plant material to hold soil in place and the proper grading of the site. Drainage facilities shall use the natural systems wherever possible. Previous surfaces rather than hard surfaces are encouraged to promote ground percolation.

Decks

Decks and their supports should be of materials that relate to the residence. Support columns must be 6" X 6" minimum. The deck railing design should reflect creative detail.

Roof

Roof pitches to be a minimum of a 10/12.

Patios

Patios should reflect creative design and detail. The floor (walking surface) should use materials that relate to the residence.

Outside Equipment

All boats and recreational vehicles must be kept in a garage or other structure designed in keeping with the architecture of the residence. The VWDRB must approve the locations of all recreation equipment, playground sets or yard structures before installation. Yard structures of any type (i.e.; statues, furniture) are not permitted in the front or side yards

If any garage space is insufficient for the storage of trash containers, outside enclosures must be provided and screened by fencing or landscaping.

The VWDRB will review each residence for aesthetic quality and may request further drawings or materials to explain the design intent.

Landscaping Criteria

The following residential landscape design criteria are provided to enhance the definition of each homesite. The primary goal is to protect and maximize individual property values through the implementation of a minimal but generous landscape treatment. This criteria must be followed to successfully receive the approvals required by the VWDRB.

The typical home uses 5% of their total budget for landscaping

Sod is required in all areas. However, Hydroseed may be permitted on a case by case basis in areas not visible from the street, per VWDRB approval.

No trees 8" or over in caliper size can be removed within 25' of the boundary of any common areas without the permission of the Design Review Board.

Rear yards of homes adjacent to any open common areas require landscape treatment similar with that of the front yard.

All grassed areas shall be provided with underground irrigation systems.

Should a significant number of existing site trees be able to be retained, and thrive after construction, the requirement for additional tree plantings may be waived. The VWDRB will determine which trees will be considered significant and retained.

Trees Requirements:

Front yard (and side yards on corner lots):

- Shade trees 1-3/4" minimum caliper, 8' tall, 1 per 1000 square feet
- 1 ornamental accent tree

Rear yard:

- Shade trees 1-3/4" minimum caliper, 8' tall, 1 per 2000 square feet
- 1 ornamental accent tree

All areas are based on irrigated areas only

Lots that do not back up to property that is a part of The Villages at Wicklow will be reviewed by the VWDRB on an individual basis.

The following shade/street and ornamental trees may be used pending approval from the VWDRB:

Bald Cypress	White Spire Birch	Japanese Maple
Shademaster Honeylocust	Tulip Poplar	White Bud
London Plane Tree	Norway Maple	Star Magnolia
Aristocrat Pear	Red Maple	Northway Spruce
Caddo Sugar Maple	Easter Redbud	White Oak
Northern Red Oak	Flowering Dogwood	Scarlet Oak
English Oak	Amur Maple	Shumard Oak
Chanticleer Pear	Keteleeri Juniper	Canadian Hemlock
White Pine	Flowering Crabapple	Willow Oak
Saw Tooth Oak	Serviceberry	River Birch
Bur Oak	Ash	Pin Oak
Sweetgum	Russian Olive	Smoke Tree
Foster Holly	Purple-Leaf Plum	Cornelian Cherry

Please note: Bradford Pear trees are not permitted. Additional tree species will be considered by the Board upon request.

Planting Beds:

-Landscape beds should make up 10% of front yards, and 5% of side yards.
The VWDRB will make determination regarding corner lot landscaping on an individual basis.

Please note: Lots which are back-to-back within the development shall require a minimum of 3% of rear yard to be covered with landscaping beds, and those that back up to public views or open common areas shall require a minimum of 5%. Lots that do not back up to Wicklow property will be reviewed by the VWDRB on an individual basis.

The following shrub specimens are appropriate in the Villages at Wicklow community:

Potentilla	Andorra Juniper	Mint Julep Juniper
Compact Amur Maple	Rose of Sharon/Althea	Densiformis Yew
Common Lilac	Redtwig Dogwood	Anthony Waterer Spirea
Cistena Plum	Forsythia	Little Princess Spirea
Golf Tip Juniper	Old Golf Juniper	Blue Mist Spirea
Capitata Yew	Nana Procumber	Redleaf Barberry
China Girl Holly	Hicks Yew	Blue Pacific Juniper
Mentor Barberry	Dwarf Korean Lilac	Hydrangia
Purpleleaf Smoketree	Golden Barberry	Crape Myrtle
Persian Lilac	Snowmound Spirea	Blue Princess Holly
Emerald Cushion Euonymus	Boxwood	Crimson Pygmy Barberry
Pink Flowering Almond	Pussy Willow	Girard Azalea
Emerald Isle Juniper	Japanese Flowering Quince	Emerald Gaiety Euonymus
Sarcoxie Euonymus	Lodense Privet	Glossy Abelia
Compact Burning Bush	Dwarf Burford Holly	PJM Rhododendron
Bar Harbor Juniper	Vanhoutte Spirea	

Please note: Additional species will be considered by the Board upon request.

Landscape bedding ground covers should be a natural-like cover of mulch, creek gravel, etc. Materials such as Lava Rock, white rock, masonry block, or diamond landscape blocks are considered inappropriate for the Villages at Wicklow community.

Retaining Walls:

In some instances, it may be necessary to provide retaining structures to protect trees near roadways and other graded areas. Such retaining structures should have a natural appearance, using natural materials such as stone, wood ties, etc.

Surface Drainage:

The surface drainage system shall consist primarily of on-grade pervious systems. Hardscape materials are permitted when no other options are available. The use of underground storm drains should be minimized. Drainage of individual properties must work with the existing topography, and be directed toward the natural open space or drainage swale systems, developed in conjunction with the roadways. Community landscape areas and amenities must be protected during all construction operations through the use of fencing or other barriers. Adequate provision must be made to prevent any surface waters from damaging public or private property, or excavation areas and fill slopes, both during and after construction.

Fences

Interior lots of the subdivision shall not have any fence wood or iron higher than 4' tall. All remaining lots will be submitted to Design & Review Board for approval if higher than 4' is requested. Fences to be built in a "shadow box" or "good neighbor" design if constructed of wood. No chain link allowed. City permits are required on all fences.

Swimming and Spa Pools

No above ground swimming pools are allowed. All in-ground swimming pools must be designed and engineered in compliance with applicable codes. Swimming pools should be visually connected to the residence through walls or courtyards and screened or separated from strict view of the street, or of neighboring properties. Backwash water, from swimming pools and spas, is not permitted to be discharged into any part of the sewer system, wash over or erode adjoining property.

Tennis Courts

Tennis courts are not allowed.

Underground Wiring

All exterior wiring shall be installed underground. Electric transformer, phone and cable TV pedestals should be landscaped in a manner to shield such facilities from view.

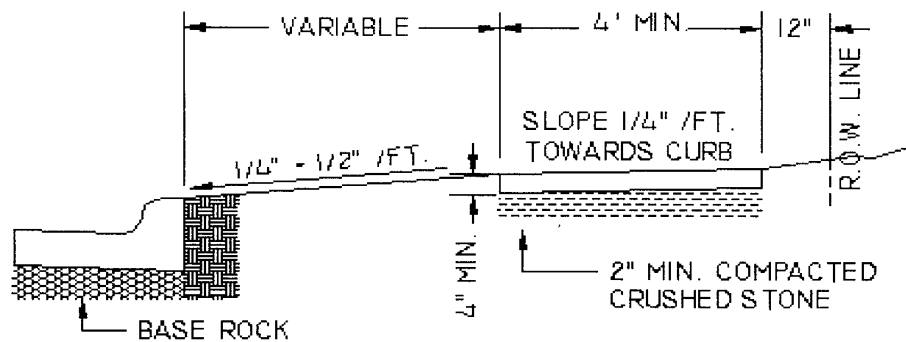
Builders please note: A portable lavatory is required every 100 to 150 feet on building sites. You are required to keep and maintain at least one at all times. If you are sharing a portable lavatory with another builder, please specify the name of the builder on your Design Review Application.

DESIGN REVIEW APPLICATIONS ARE NOT ACCEPTED PRIOR TO HAVING A CONTRACT ON A LOT
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Please note that the Guidelines are provided to summarize the general building standards of The Villages at Wicklow community. It is highly recommended that you obtain a copy of The Villages at Wicklow Declaration of Restrictions and Covenants for additional rules and regulations.

I/we have read the current The Villages at Wicklow Design Guidelines, Covenants, Conditions and Restrictions and fully understand the requirements set forth as they pertain to this application. All work will be completed in conformance with the approved documents and application. Any change to any building associated with this application shall be resubmitted to the Design Review Board and approval obtained prior to commencement of any and all improvements. During construction, I/we agree and will provide gravel to the driveway of this property for use as a temporary access.

Signature: _____ Date: _____



NOTES:

1. JOINTS SHALL BE FORMED AT RIGHT ANGLES TO THE ALIGNMENT OF THE SIDEWALK.
2. THE SIDEWALK SHALL BE MARKED OFF INTO SQUARE STONES BY CONTRACTION JOINTS. CONTRACTION JOINTS SHALL BE ONE-EIGHT (1/8) INCH WIDE (MIN.) BY ONE (1) INCH DEEP AND SHALL BE FORMED BY TOOLING.
3. EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PREFORMED JOINT FILLER, EXTENDING THE FULL DEPTH OF THE SLAB, AND SECURED SO THAT THE JOINT FILLER IS NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS.
4. EXPANSION JOINTS SHALL BE PLACED WHERE SIDEWALK ABUTS TO OTHER STRUCTURES AND SHALL NOT BE SPACED MORE THAN 50 FEET APART ON STRAIGHT RUNS FOR HAND LAID SIDEWALK AND NOT MORE THAN 100 FEET APART ON STRAIGHT RUNS FOR MACHINE LAID SIDEWALKS.



CONCRETE SIDEWALK
DETAIL

DATE:
01/31/99

DWG:
D3